



Wednesday , July 27, 2005

PROJECT:

**2005 REROOF TO:  
SALT LAKE COMMUNITY COLLEGE  
RAMPTON BUILDING &  
HEAT PLANT**

4600 SOUTH REDWOOD ROAD  
SALT LAKE CITY, UTAH 84112  
D.F.C.M. PROJECT #05159660 & 05158660

**ADDENDUM NO. 2**

The Architect, as a clarification and addition, issues the data included herein to drawings, specifications, and contract documents relative to the above project. Except as effected by data herein, all other parts of the Contract Documents shall remain in full force and effect as issued by the Architect, **July 11, 2005** (This Date Applies to all Project Bid Documents). It shall be the sole responsibility of the bidder to appropriately disseminate this data to all concerned prior to the assigned bid date and time. Receipt of the addendum shall be recorded by the bidder in the appropriate space on the proposal form included in the Contract Documents.

**I. GENERAL ITEMS**

**Item #1**      *The bid date has been changed to Thursday July 28, 2005 @ 3:30pm in lieu of Wednesday July 27, 2005 @ 3:30pm.*

**II. ARCHITECTURAL ITEMS**

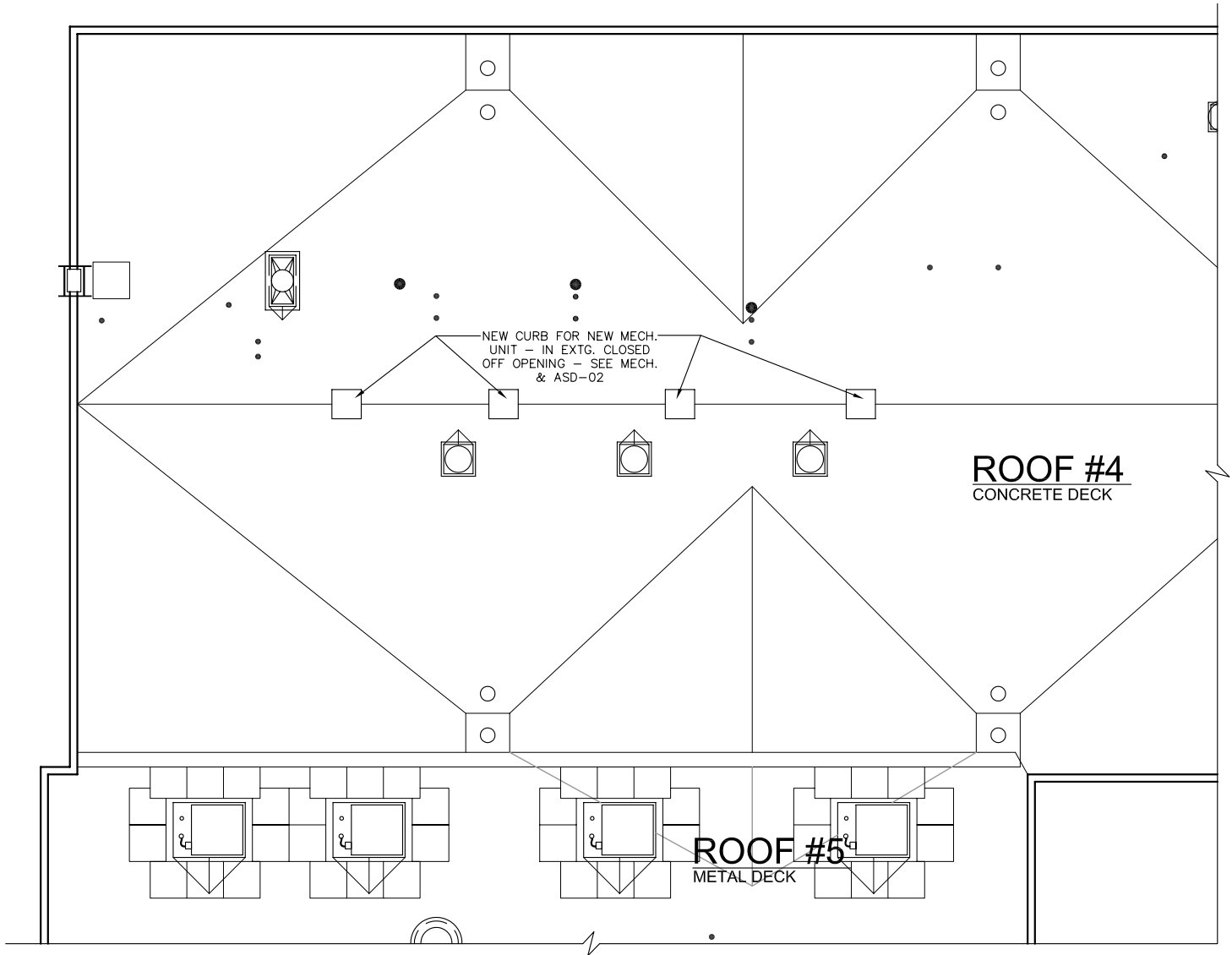
**Item #1**      **SHEET AE-501 DETAIL A1:**  
Roof # 5 change perlite to 1" polyiso.

**Item #2**      Provide new supports for existing steel platform – see details ASD-03 & ASD-04.

**Item #3**      Install (4) new mechanical fans on the Heat Plant roof – see attached mechanical drawings & attached ASD-01 & ASD-02 and electrical document.

## **II. SPECIFICATION ITEMS**

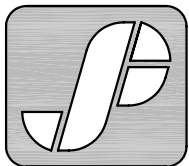
- Item #1**      Attached please find Guarantee for the Single-Ply Roofing form & the Contractors Roofing Warranty form.
- Item #2**      In the specification EPS calls out Extruded Polystyrene it should read (EPS – Expanded Polystyrene).



# 01 PARTIAL ROOF PLAN (HEAT PLANT)

SCALE: NONE

NORTH



**SCOTT P. EVANS - ARCHITECT & ASSOCIATES P.C.**

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info@spe-architect.com www.spe-architect.com

2005 REROOF TO: SLCC RAMPTON BUILDING & HEAT PLANT

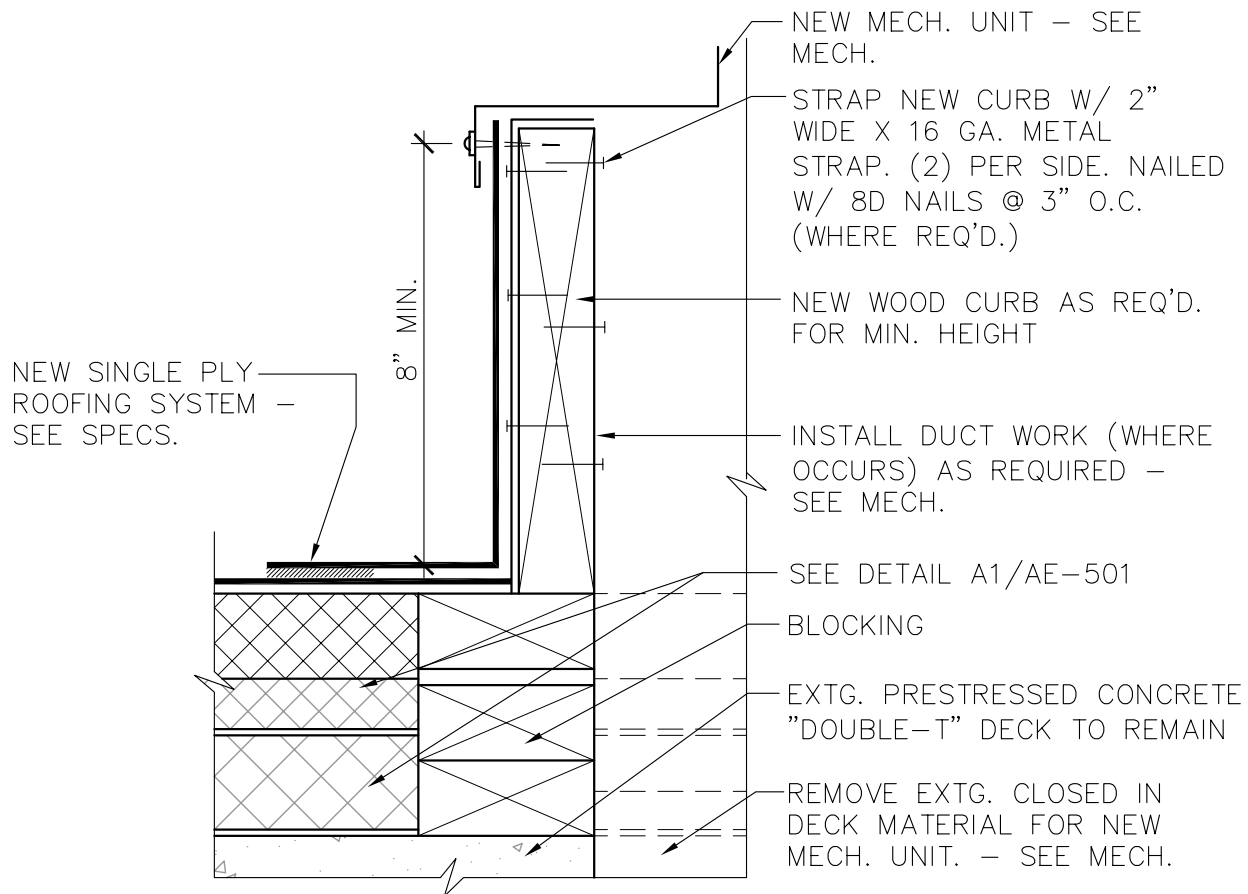
ARCHITECT'S PROJECT NO. 05-09

DFCM'S PROJECT NO. 0515960 & 05158660

SUPPLEMENTARY DRAWING

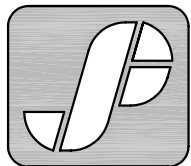
DATE: JULY 25, 2005

ASD-01



## 02 NEW EQUIP. CURB DETAIL

SCALE 3" = 1'-0"



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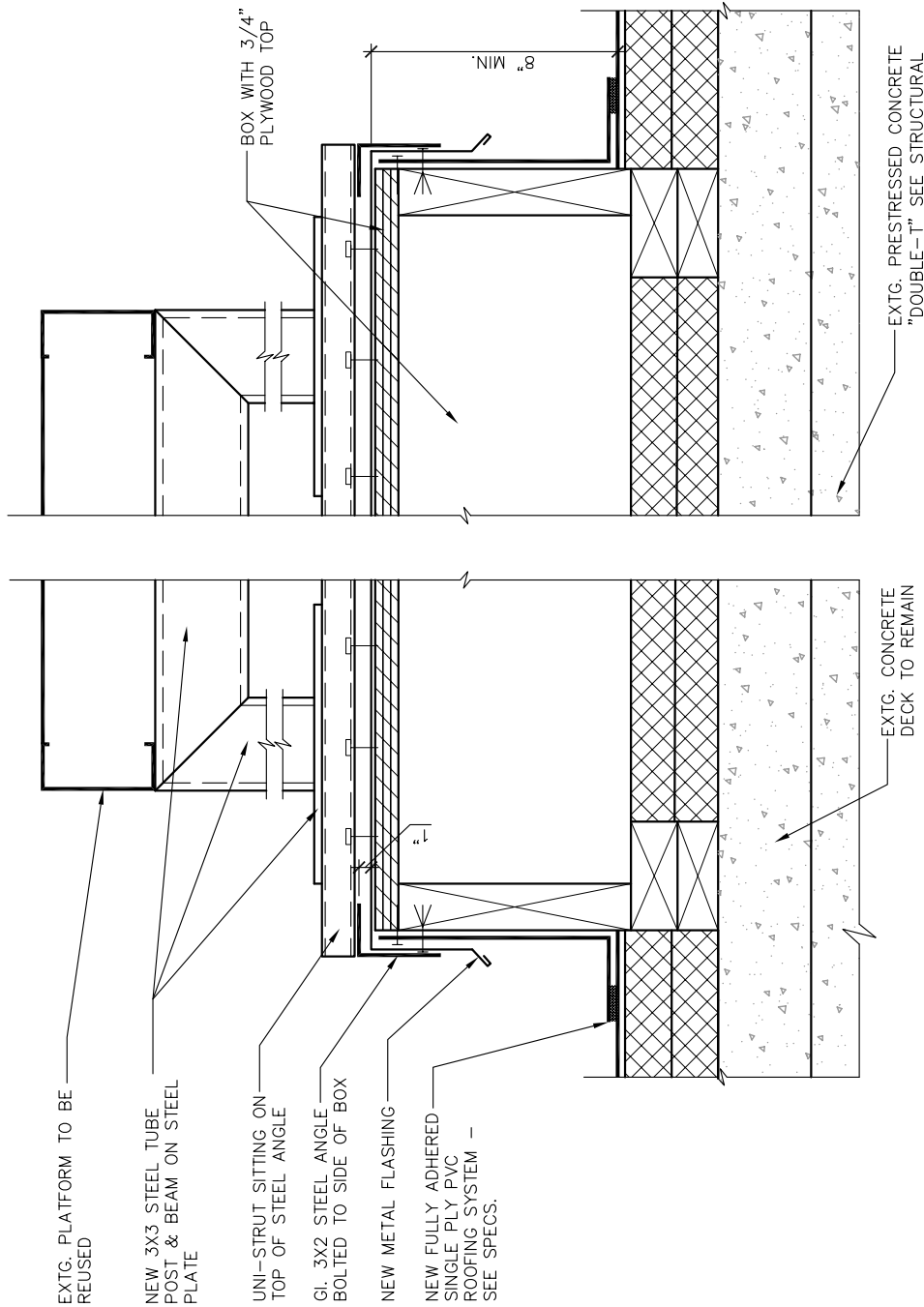
ARCHITECT'S PROJECT NO. 05-09

DFCM'S PROJECT NO. 0515960 & 05158660

SUPPLEMENTARY DRAWING

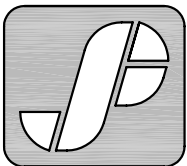
DATE: JULY 25, 2005

ASD-02



# 01 BASE FLASHING DETAIL FOR "T-MOBILE" UNIT

SCALE: NONE



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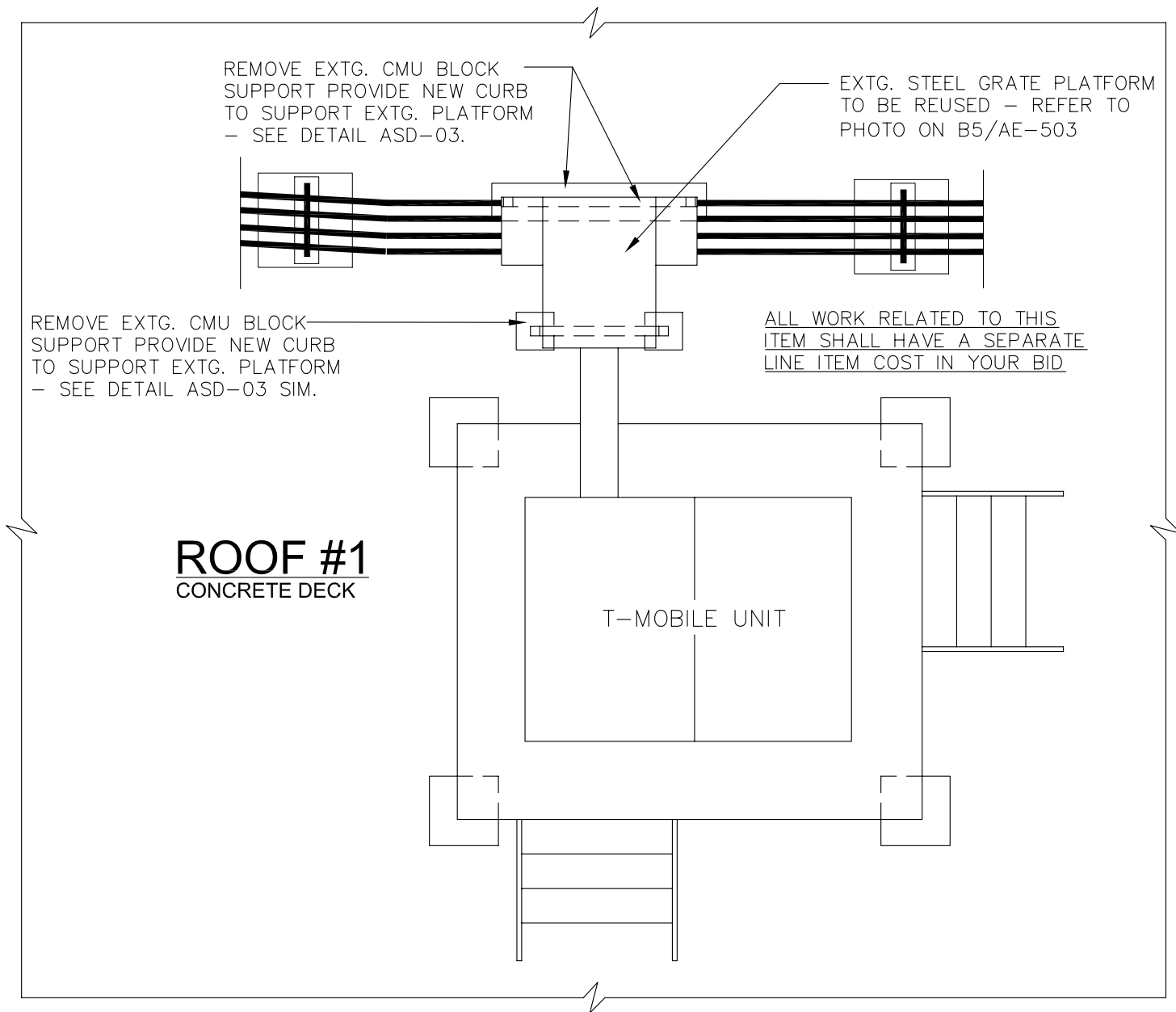
ARCHITECT'S PROJECT NO. 05-09

DFCM'S PROJECT NO. 0515960 & 05158660

SUPPLEMENTARY DRAWING

DATE: JULY 25, 2005

ASD-03

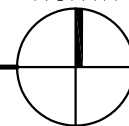


04

## PARTIAL ROOF PLAN

SCALE: NONE

NORTH



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2005 REROOF TO: SLCC RAMPTON BUILDING & HEAT PLANT

ARCHITECT'S PROJECT NO. 05-09

DFCM'S PROJECT NO. 0515960 & 05158660

SUPPLEMENTARY DRAWING

DATE: JULY 25, 2005

ASD-04

KEYED NOTES

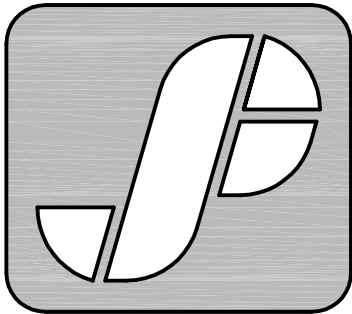
- 1

EXISTING EVAPORATIVE COOLER TO REMAIN.
- 2

NEW ROOF MOUNTED EXHAUST FAN. COORDINATE LOCATION WITH EXISTING PATCHED OPENINGS ON ROOF. COORDINATE LOCATION OF NEW FANS WITH STRUCTURE AND ARCHITECTURAL ROOF PLAN. EXTEND DUCTWORK DOWN FROM ROOF MOUNTED EQUIPMENT AND STUB THROUGH ROOF OPENING INTO SPACE.
- 3

EXISTING BOILER FLUE TO REMAIN.

SCOTT P. EVANS  
ARCHITECT  
& ASSOCIATES P.C.



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PROFESSIONAL SEAL

CONSULTANTS

**STRUCTURAL ENGINEER**  
BHB CONSULTING  
**MECHANICAL ENGINEER**  
VBFA

2005 REROOF TO:  
SALT LAKE COMMUNITY COLLEGE  
RAMPTON BUILDING &  
HEAT PLANT

MARK	DATE	DESCRIPTION
	7/11/05	CONSTRUCTION DOCUMENTS

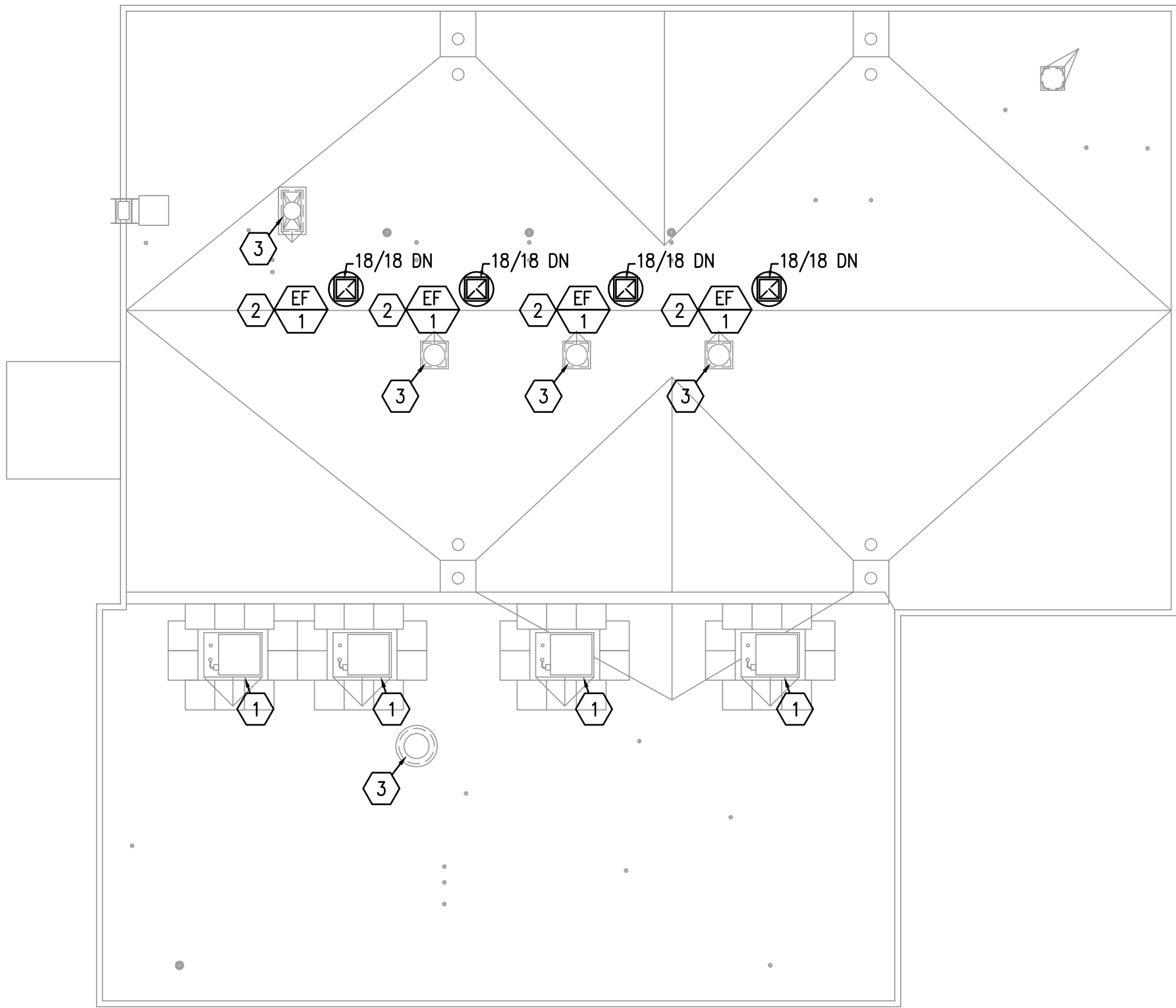
OWNER PROJECT NO: 05159660  
ARCH. PROJECT NO: 05-09  
CAD DWG FILE: ME-101.DWG  
DRAWN BY: Miah  
CHECKED BY: BWR  
DESIGNED BY: BWR  
COPYRIGHT:  
SCOTT P. EVANS ARCHITECT - 2005

SHEET TITLE

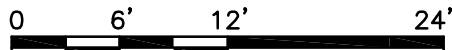
ROOF MECHANICAL PLAN

1

ME-101  
?? OF 13



A1 ROOF MECHANICAL PLAN (HEAT PLANT)  
SCALE 3/32" = 1'-0"



1 7/26/05 Exhaust Fan Addition

**VAN BOERUM  
& FRANK  
ASSOCIATES INC.**  
CONSULTING ENGINEERS

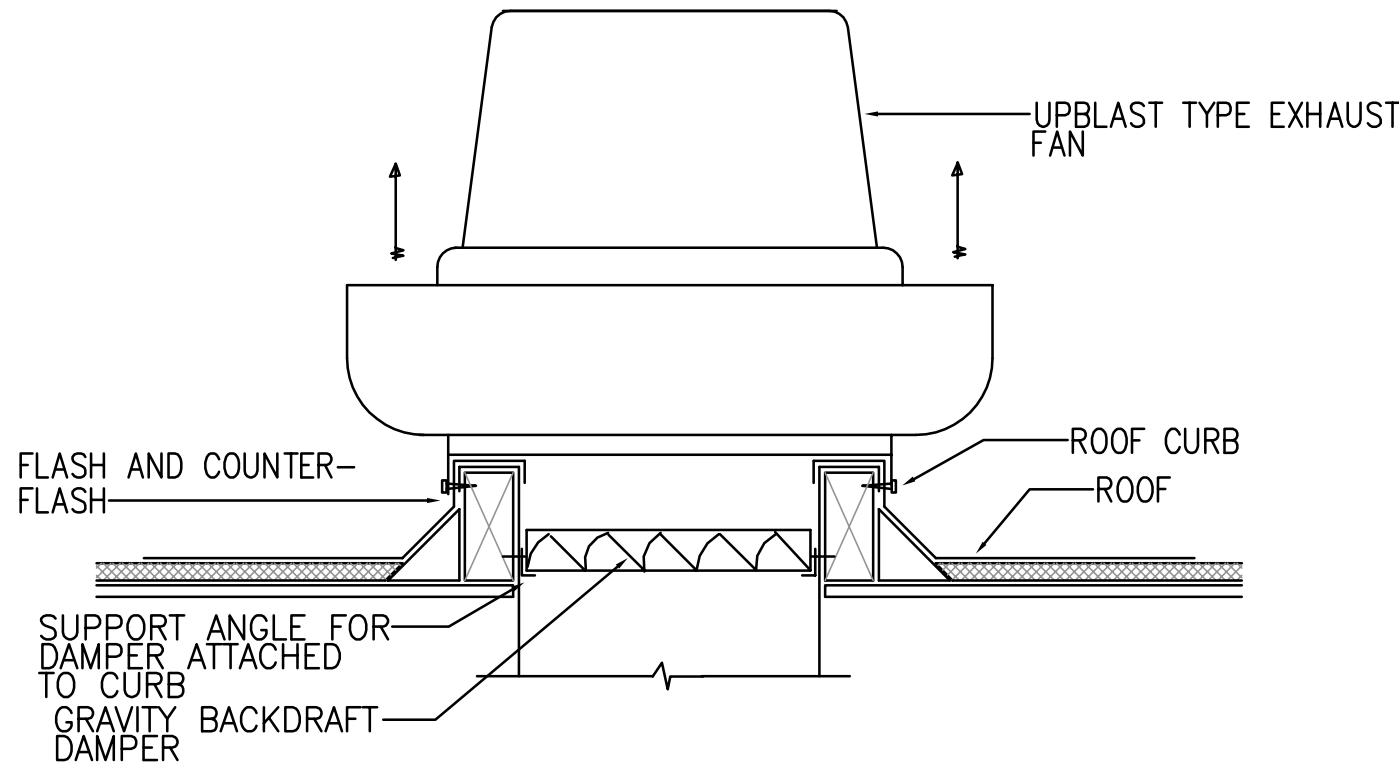
330 South 300 East  
Salt Lake City, UT 84111  
801.556.3148 T  
801.556.3108 F

1620 W Fountainhead Pkwy  
Tampa, AZ 33622  
408.889.0070 T  
408.889.0070 F

1704 W Sunset Blvd #3  
St. George, UT 84770  
435.874.2700 T  
435.874.4900 F

EXHAUST FAN SCHEDULE															
ID	MANUFACTURER AND MODEL NUMBER	LOCATION	TYPE	AIR TYPE	AIR		FAN			ELECTRICAL				PHYSICAL	
					MAXIMUM AIRFLOW RATE (CFM)	STATIC PRESSUR (IN. WATER)	OUTLET VELOCIT (FPM)	FAN SPEED (RPM)	FAN WHEEL DIAMETER (IN)	STATIC EFFICIENC (%)	MOTOR SIZE (HP)	MOTOR BHP (HP)	MOTOR SPEED (RPM)	VOLT/PH/H	LENGTH/ WIDTH/ HEIGHT (IN)
EF-1	COOK 165 ACRU-B	ROOF	UPBLAST	EXHAUST	3500	0.125	1964	1289	16.5	11	0.75	0.642	1750	120/1/60	35/35/31

1. PROVIDE WITH BACKDRAFT DAMPER
2. WEIGHT WITH CURB 150 LBS



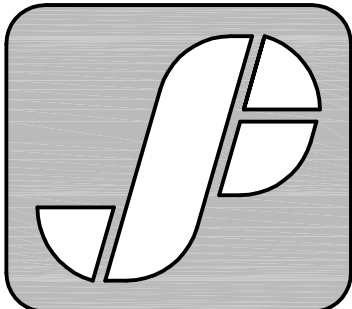
1

UPBLAST EXHAUST FAN DETAIL

ME-501

NO SCALE

SCOTT P. EVANS  
ARCHITECT  
& ASSOCIATES P.C.





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RAMPTON BUILDING &  
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MARK	DATE	DESCRIPTION
	7/11/05	CONSTRUCTION DOCUMENTS

OWNER PROJECT NO: 05159660  
ARCH. PROJECT NO: 05-09  
CAD DWG FILE: ME-501.DWG  
DRAWN BY: Miah  
CHECKED BY: BWR  
DESIGNED BY: BWR  
COPYRIGHT:  
SCOTT P. EVANS ARCHITECT - 2005

SHEET TITLE  
DETAILS &  
SCHEDULES

ME-501  
?? OF 13

1 7/26/05 Exhaust Fan Addition

**VAN BOERUM  
& FRANK  
ASSOCIATES INC.**  
CONSULTING ENGINEERS

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408.889.5070 T  
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**2005 REROOF TO:**  
**SALT LAKE COMMUNITY COLLEGE**  
**RAMPTON BUILDING & HEAT PLANT**  
DFCM PROJECT NO. 05159960

July 26, 2005

ELECTRICAL ADDENDUM ITEMS

1. Add Electrical Service for Exhaust Fans:

- A. Connect new rooftop exhaust fans to Existing Panel 'L2', Circuits 35, 37, 39 & 41.
  - 1) Existing Panel 'L2' is located on east wall of Heat Plant, approximately 25 feet north of the south wall.
- B. Provide manual motor starting switch with thermal overload protection and weatherproof enclosure at each new exhaust fan.
- C. Provide 4 new Siemens Type 'BL' 1P-20A Breakers in Existing Panel 'L2' to serve new exhaust fans. Provide new typewritten circuit directory for the existing panel to include new branch circuits.

2. Requirements for New Electrical Work:

- A. Install all new electrical work in accordance with National Electrical Code, 2002 edition and as specified herein.
- B. Provide new wiring, minimum #12 copper with Type THHN or THWN 600 Volt insulation.
- C. Provide minimum 3/4" EMT conduit with steel set screw or compression fittings. Support conduit at 5'-0" on center and within 12" of all boxes, bends, and fittings.
- D. Provide liquid-tight flexible steel conduit for final connection to exhaust fans.
- E. Provide minimum 4" square steel junction boxes in new conduit runs, if required. Provide cast metal outlet boxes outside and in other wet locations.

3. Coordination with Concurrent Construction Project:

- A. Coordinate all work with Concurrent DFCM Project No. 04190660, "Various Buildings Tunnel Lighting, Exit Signs and Emergency Generators".
  - 1) This project includes installation of a new Emergency/Standby Power System at the Heat Plant with installation of new generator outside the building and new interior electrical work.

END OF ELECTRICAL ITEMS



## State of Utah

Division of Facilities Construction and Management  
4110 State Office Building Salt Lake City, Utah 84114  
Phone: 801-538-3018 Fax: 801-538-3267

### GUARANTEE FOR SINGLE-PLY ROOFING

WHEREAS, \_\_\_\_\_, a corporation whose address is \_\_\_\_\_, hereinafter called the Manufacturer, has manufactured and sold and caused to have applied, pursuant to the specifications and inspection, the necessary roofing materials to construct a \_\_\_\_\_ roof of approximately \_\_\_\_\_ square feet and associated roof flashing of approximately \_\_\_\_\_ linear feet on the building described below:

OWNER: \_\_\_\_\_

DFCM PROJECT NO: \_\_\_\_\_ STATE BUILDING NO: \_\_\_\_\_

BUILDING: \_\_\_\_\_

LOCATION: \_\_\_\_\_

DATE OF COMPLETION OF ROOFING: \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_ (ROOFER)

\_\_\_\_\_ (ADDRESS)

ROOFING SPECIFICATION: \_\_\_\_\_

MANUFACTURER'S GUARANTEE NO: \_\_\_\_\_

AND WHEREAS, by careful examination of said roof by the Manufacturer's representative, it has been determined that required quantities of roofing materials have been used and that roofing materials have been applied in conformance with Manufacturer's specifications.

AND WHEREAS, Manufacturer represents and wishes to guarantee, subject to the limits stated herein, that its roofing when so applied is effectively watertight for a period of twenty (20) years despite normal wear and tear by the elements, as well as guaranteeing it against defects in workmanship or materials; which result in leaks.

NOW THEREFORE, said Manufacturer guarantees to the said Owner that, as set forth below, during a period of twenty (20) years from the date of substantial completion of said single-ply roofing described above, Manufacturer will at its own expense, make or cause to be made, any repairs that may be necessary, as a result of defects in workmanship or materials supplied by the Manufacturer which results in leaks or of normal wear and tear by the elements which results in leaks, and will maintain said roof in water tight condition free from all leaks arising from such causes. For purposes of this Guaranty, damage to the roof caused by hurricanes, lightning, tornadoes, gales, hailstorms or other unusual natural phenomena shall not be deemed to be "normal wear and tear by the elements".

**INCLUSIONS:** This Guaranty does cover, and Manufacturer shall be liable for the following:

1. Roofing membrane, membrane flashings, metal flashings, mechanical fastening system, anchors, adhesives, seaming materials, slip sheets, fabrics, insulations, underlayments, and accessories furnished by the Manufacturer as incorporated into the roof membrane system.
2. Replacement of roof insulation and/or vapor barrier damages by any leakage and/or failure of the roof membrane assembly.
3. Repair of splits, breaks, cracks, and seam failures in membrane system.

**EXCLUSIONS:** This Guaranty does not cover, and Manufacturer shall not be liable for the following:

1. Metal work, including metal counter flashings, not a part of the roof membrane system and such damage as may result from application of these materials;
2. Any damage to the roof caused by structural defect in, or failure of, the building or defects in, or failure of, any structural roof deck, or other sheathing materials, used as the base over which the roof and roof insulation is applied;
3. Roof damage from special chemical conditions not disclosed to Manufacturer;
4. Any damage to the building or contents thereof, except replacement of damaged roof insulation and vapor barrier as noted under "INCLUSION" above;
5. Roof damage through use of materials after original installation not furnished or authorized by Manufacturer;
6. Damage to the roof due to mechanical abrasion or abuse not caused by the Manufacturer.
7. Reasonable care and maintenance will be the responsibility of the Owner.

**INSPECTION AND REPAIR:** During the term of this Guarantee, Manufacturer, its agents or employees, shall have free access to the roof during regular business hours. Upon written notice by Owner to Manufacturer within four days of the discovery of any leaks in the roofing system, or

need of repair of roof, the Manufacturer shall have ten (10) days to inspect the roof. Following such inspection:

1. Manufacturer, at its own expense shall make such repairs to there of as are required by the Guaranty.
2. In case owner or his agent has notified Manufacturer in writing that repairs are required and such repairs are not covered by the Guaranty (including repairs required by owner's alteration, extension or addition to the roof) Owner, after having obtained Manufacturer's consent thereto, in writing, shall make or cause to be made, such repairs at Owner's expense in accordance with specifications and procedures as established by Manufacturer and this Guaranty shall thereupon remain in effect for the un-expired portion of its original term. If Owner fails to obtain authorization from Manufacturer or if repairs are made by one other than the Manufacturer's authorized designee, this Guaranty with respect to such area shall be automatically terminated.
3. In the event the (1) Owner notifies Manufacturer and has confirmed in writing the need of repair of roof and (2) Manufacturer is unable to promptly inspect and repair same, and (3) an emergency condition exists which requires prompt repair in order to avoid substantial damage to owner, then owner may make such temporary repairs as may be essential and any such action shall not be a breach of the provision of this Guaranty. Owner will bear emergency repair expenses.

**INSPECTION SERVICE:** Manufacturer agrees to re-inspect the completed roof not earlier than 18 nor later than 24 months after completion of the roofing, and if it is determined that there are defects in the roofing, then Manufacturer shall make, or cause to be made at its own expense, such repairs as are necessary to remedy said defects within the scope of its responsibility under the terms of this Guaranty.

IN WITNESS WHEREOF, Manufacturer has caused this instrument to be signed and sealed by its duly authorized officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

CORPORATION: \_\_\_\_\_

SEAL:

\_\_\_\_\_  
Project Manager Approval  
Division of Facilities Construction and Management



## State of Utah

Division of Facilities Construction and Management  
4110 State Office Building Salt Lake City, Utah 84114  
Phone: 801-538-3018 Fax: 801-538-3267

### CONTRACTOR ROOFING WARRANTY

WHEREAS \_\_\_\_\_

Of (Address) \_\_\_\_\_

Herein called the "Roofing Contractor", has performed roofing and associated ("work") on following project:

Owner: \_\_\_\_\_ DFCM Project No. \_\_\_\_\_

Address: \_\_\_\_\_

Name and Type of Building: \_\_\_\_\_ State Building Number \_\_\_\_\_

Address: \_\_\_\_\_

Area of Work: \_\_\_\_\_ Date of Acceptance: \_\_\_\_\_

Warranty Period: \_\_\_\_\_ (5) years \_\_\_\_\_ Date of Expiration: \_\_\_\_\_

AND WHEREAS Roofing Contractor has contracted (either directly with Owner or indirectly as a subcontractor) to warrant said work against leaks and faulty or defective materials and workmanship for designated Warranty Period.

NOW THEREFORE Roofing Contractor hereby warrants, subject to terms and conditions herein set forth, that during Warranty Period he will at his own cost and expense, make or cause to be made such repairs to or replacements of said work as are necessary to correct faulty and defective work, and as are necessary to maintain said work in watertight condition. In addition to making the work watertight, the Roofing Contractor shall remove and/or repair blisters, ridges, flashings, splits and other irregularities which in the opinion of the Roofing Manufacturer's technical representative do not conform to acceptable roofing practices and conditions. These repairs shall be made prior to expiration of the five (5) year Warranty Period and to the satisfaction of the Roofing Manufacturer's technical representative.

This Warranty is made subject to the following terms and conditions:

1. Specifically excluded from this Warranty are damages to work and other parts of the building, and to building contents, caused by: a) lightning, windstorm; b) fire; c) failure of roofing system substrate including cracking settlement, excessive deflection, deterioration, and decomposition; d) faulty construction of parapet walls, copings, chimneys, skylights, vents, equipment supports, and other edge conditions and penetrations of the work; and e) activity on roofing by others including construction contractors, maintenance personnel, other persons, and animals whether authorized or unauthorized by Owner,

When work has been damaged by any of foregoing causes, Warranty shall be null and void until such damage has been repaired by Roofing Contractor, and until cost and expense thereof has been paid by Owner or by another responsible party so designated.

2. The Roofing Contractor is responsible for damage to work covered by this Warranty, but is not liable for consequential damages to building or building contents, resulting from leaks or faults or defects of work.
3. During Warranty Period, if Owner allows alteration of work by anyone other than Roofing Contractor, including cutting, patching and maintenance in connection with penetrations, attachment of other work, and positioning of anything on roof, this Warranty shall become null and void upon date of said alterations, but only to extent said alterations affect work covered by this Warranty. If Owner engages Roofing Contractor to perform said alterations, Warranty shall not become null and void, unless Roofing Contractor, prior to proceeding with said work, shall claim that said alterations would like damage or deteriorate work, thereby reasonably justifying a limitation or termination of this warranty.
4. During Warranty Period, if original use of roof is changed and it becomes used for, but was not originally specified for, a promenade, work deck, spray cooled surface, flooded basin, or other use or service more severe than originally specified, this Warranty shall become null and void upon date of said change, but only to extent said change affects work covered by this Warranty.
5. The Owner shall promptly notify Roofing Contractor of observed, known or suspected leaks, defect or deterioration, and shall afford reasonable opportunity for Roofing Contractor to inspect work, and to examine evidence of such leaks, defects or deterioration.
6. This Warranty is recognized to be the only Warranty of Roofing Contractor on said work, and is in addition to the Roofing Guarantee furnished by the Roofing Manufacturer, and shall not operate to restrict or cut off Owner from other remedies and resources lawfully available to him in cases of roofing failure. Specifically, this Warranty shall not operate to relieve Roofing Contractor of responsibility for performance of original work in accordance with requirements of the Contract Documents, regardless of whether Contract was a contract directly with Owner or a subcontract with Owners General Contractor.

IN WITNESS THEREOF, this instrument has been dully executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Cosigned by General Contractor by:

\_\_\_\_\_  
(General Contractor)

\_\_\_\_\_  
(Roofing Contractor)

\_\_\_\_\_  
(Business Address)

\_\_\_\_\_  
(Business Address)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Title)